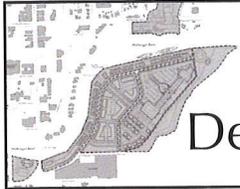


# *South Pier Design Guidelines*





## South Pier Design Principles

The South Pier District provides an outstanding opportunity for Sheboygan, Wisconsin, to create a vibrant waterfront neighborhood that builds upon its maritime history, its tradition of commercial fishing, and the aesthetics of beautiful Lake Michigan. Historically dominated by industrial land uses, a large portion of Sheboygan's river and lakefront is now available for mixed-use development, including specialty retail, live/work, and destination entertainment uses. Revitalization of this site will improve the quality of life for Sheboygan residents and visitors alike, by providing public access along the river and lakefront and new opportunities to live, shop, work, and play.

In conjunction with the South Pier Redevelopment Plan, these design guidelines intend to honor and complement Sheboygan's history, spirit, and scenic resources by promoting cohesive redevelopment of the South Pier District. The guidelines represent a strong commitment to promoting design character, using high quality materials and developing elements that will define South Pier as a unique waterfront destination.

Respecting community context and previous planning initiatives, the guidelines are based on the following principles of development:

- Revitalize and redevelop underutilized waterfront property with economically and environmentally sustainable uses.
- Provide a continuous pedestrian experience along Sheboygan's river and lakefront, with public waterfront access and connections to regional trail systems.
- Promote a mixed-use development encouraging water-related uses.
- Build upon Sheboygan's maritime identity.
- Create an architecturally cohesive district with a distinct identity.
- Promote a balance between public use and access and private economic development.
- Improve water-based recreational facilities and navigational access to the Sheboygan River.
- Establish Sheboygan as a regional waterfront destination attraction.



*Aerial Photo of the South Pier District Showing Historic Use*



## Character Zones

These design guidelines intend to create an identifiable, unique image for the South Pier District that builds upon the maritime history of Sheboygan. To create this cohesive identity, these guidelines establish standards which are essential to achieve the quality of development desired by the community.

The South Pier Redevelopment Plan divides the South Pier District into four distinct character zones as shown below:

- Riverfront Zone - "The Shanties"
- Live/Work Zone - "The Lofts"
- Family Resort Zone - "The Dunes"
- Lakefront Zone - "The Beach"

In all the zones, public access to and along both the Sheboygan River and Lake Michigan is a key concern to community residents. To maintain this access, a 35-foot setback along the entire south bank of the river from South 8<sup>th</sup> Street to the lake will incorporate the construction of a Riverwalk similar to the existing boardwalk on the north shore. Also, the entire Lakefront Zone is reserved for the public realm, providing fishing access, sand dune restoration, a walking and biking path, and a future community building.

Each of the zones will be discussed in turn, addressing recommended development patterns, architectural character, private property site improvements, and public realm enhancements. Stormwater management and vehicular and pedestrian circulation sections address the entire District. This document concludes with a general guide for its use, listing procedures for development review and contact information for the Department of City Planning and Development.

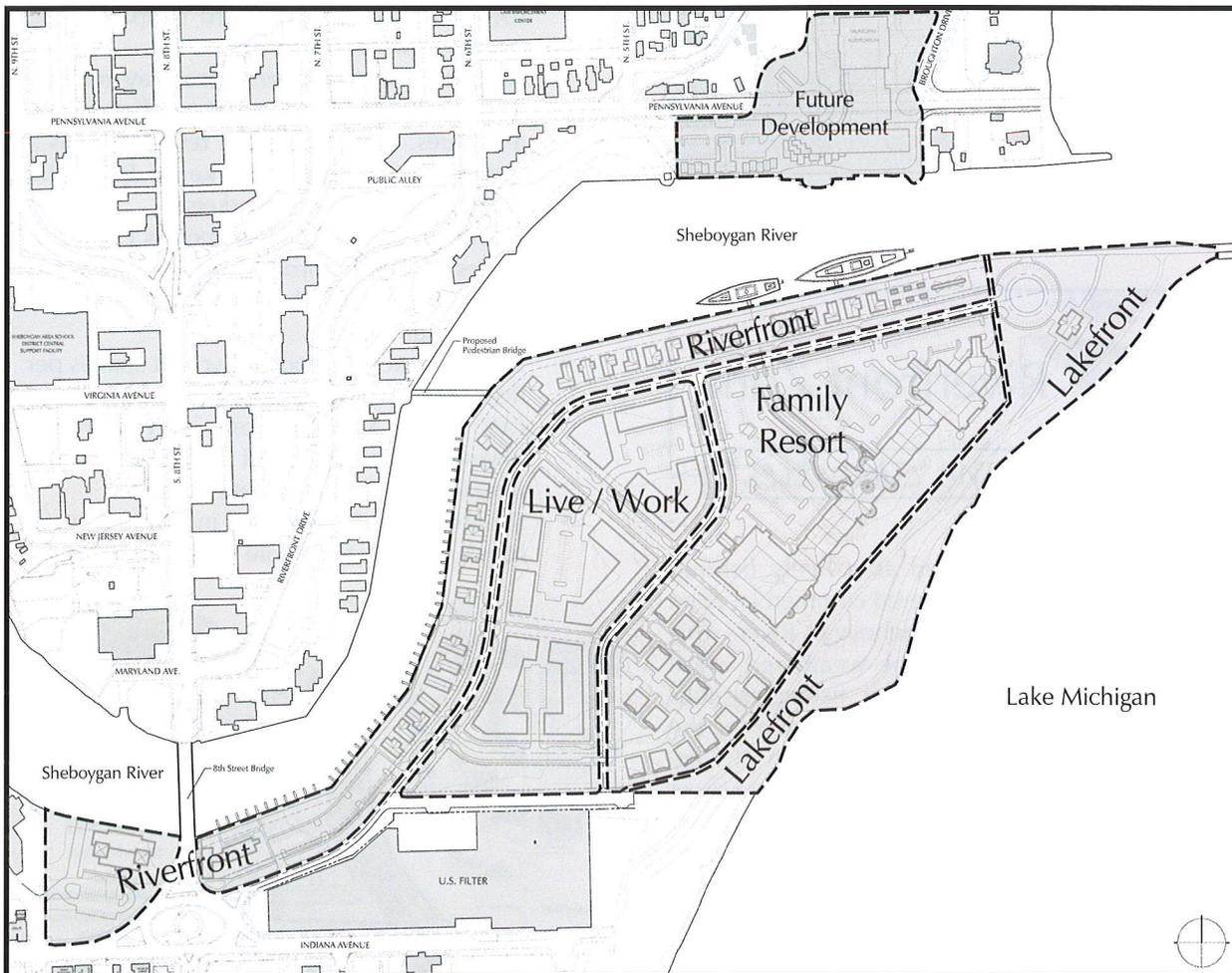
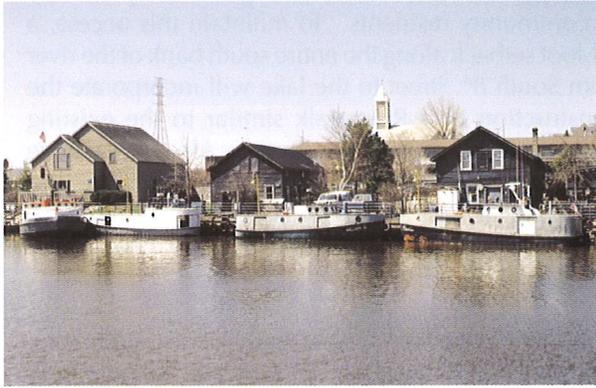


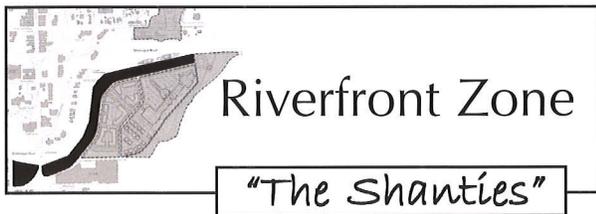
Diagram of Character Zones



Existing Simple Shanty Structures Create the Waterfront Aesthetic



Build on the Existing Character North of the River



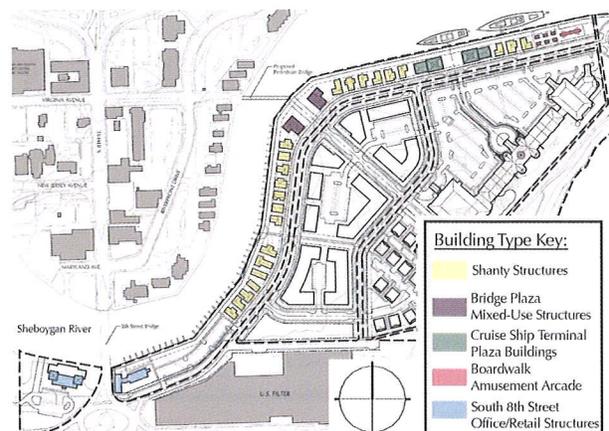
“The Shanties” is envisioned as a lively fishing, boating, and water sports-centered commercial zone lining the south bank of the Sheboygan River. This zone draws its identity from the weathered wood clapboard structures of the historic fishing shanties that formed the land-based backbone supporting the commercial fishing fleet along this stretch of Lake Michigan’s shoreline. Creating vibrant, 24-hour street life with an eclectic mix of active fishing shanties, restaurants, art galleries, marine shops, water sports shops, artist and live/work lofts, and amusement venues, this zone will entice the tourist and resident alike with specialty retail, convenience goods, entertainment, and dining opportunities.

## Development Pattern

### Neighborhood Use Mix:

#### Shanty Structures:

- Potential uses include commercial and charter fishing, live/work lofts, marine-centered commercial businesses, art and craft galleries, water sports commercial businesses, and food and entertainment destinations.
- Live/Work lofts shall be zoned mixed-use to allow flexible response to market demand, creating high occupancy with living units, office/studio space, and retail use. (Retail use shall be focused on ground floor only.)
- Marine-centered commercial retail businesses would provide boating and fishing supplies and waterfront convenience items.
- Water sports commercial businesses would feature dive and surf gear, beachwear, rollerblade and skateboard supplies, and extreme sports gear.
- Food and entertainment uses may include waterfront-theme restaurants, coffee shops, and cafés. District service retail, such as a video rental shop, can serve both the residential and tourist markets.
- Shanty structures are envisioned as 1.5 to 2.5-stories, each with a front-gabled roof form and a building footprint size of approximately 2,000 square feet.
- Structures accommodate two loft spaces per floor at approximately 750 to 1,200 square feet each, allowing one or two retail businesses on the ground floor or one to two live/work lofts per structure.
- Shanties can be developed individually or in block parcels of multiple units.



Building Type for “The Shanties” Character Zone

#### Bridge Plaza Mixed-Use Structures:

- Two buildings, each identified as three-stories of approximately 4,800 square feet per floor.
- Envisioned as ground-floor full-service restaurants, cafés, or retail businesses in 1,600 to 2,400 square foot tenant spaces.
- Allocates upper-floors to office uses, creating 1,600 to 4,800 square foot business spaces.

#### Cruise Ship Terminal Plaza Buildings:

- Two buildings, each three-stories with a footprint of approximately 7,700 square feet.
- Include ground-floor food, retail, and entertainment establishments supporting the festive nature of the Cruise Ship Terminal.
- Provide small to medium-sized business offices on upper floors.
- Ground-floor, full-service restaurants, cafés, retail or entertainment businesses in 1,500 to 5,000 square foot tenant areas.
- Potential IMAX theater with related entertainment venues could be incorporated.
- Upper-floor office areas allocated to create 2,000 to 7,700 square foot business uses.

#### Boardwalk Amusement Arcade:

- Creates an icon for Sheboygan with the “Ferris Wheel of the Lakes” and small pavilions for seasonal retail vendors.

#### South 8<sup>th</sup> Street Office/Retail Structures:

- Include the historic Reiss Office Building and identify a new office/retail site on the west side of South 8<sup>th</sup> Street.
- Provide opportunities for professional and small business offices with immediate access to the downtown business district.
- Potential use for the building west of South 8<sup>th</sup> Street includes a boatworks facility and launch.
- Buildings shall be three to four stories, with ground-floor retail and office uses in 1,500 to 2,500 square foot tenant spaces and upper-floor offices of 2,000 to 10,000 square feet.

### Lot / Block Standards:

#### Shanty Structures:

- Approximate lot width of 50 feet.
- 12-foot front and 5-foot sideyard setbacks required. Rear setback from the river seawall shall be 35 feet.
- Development of larger multi-lot parcels

allows flexibility in internal sideyard clearances.

- Public access to the river will be maintained by providing a riverwalk similar to the existing walk north of the River (see page 15).

#### Bridge Plaza Mixed-Use Structures, Cruise Ship Terminal Plaza Buildings, Boardwalk Amusement Arcade, and South 8<sup>th</sup> Street Office/Retail Structures:

- Circulation and access shall establish strong linkage to the existing Riverfront Drive commercial district and to “The Lofts” and “The Dunes” character zones.
- Public plazas shall be designated at regular intervals to provide public access and views to the river.

## Architectural Character

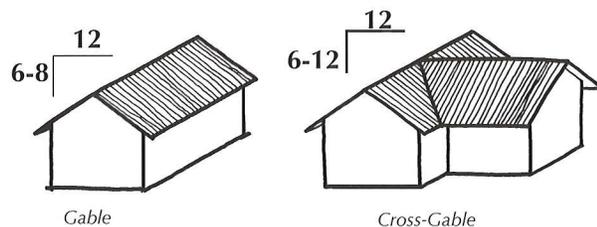
### Scale and Massing:

#### Recommended massing for the Shanty Structures:

- 1.5 to 2.5-story peaked-roof structures with front gables not to exceed 40 feet in height.
- Optional ‘T’ or ‘L’ shaped floor plans with cross-gable roof forms are encouraged.
- Height to width proportions shall be 1.2:1 or greater to express the traditional vertical quality of historic waterfront buildings.
- Roof slopes shall be 6/12 to 12/12 pitch.

Design of the Bridge Plaza Mixed-Use Structures and the Cruise Ship Terminal Plaza Buildings shall follow the criteria below:

- Buildings may be three-story, peaked-roof structures, not to exceed 40 feet in height.
- Dormers and roof overhangs shall be used to reduce visual scale.
- Height to width proportions shall be 1.2:1 or greater to express the traditional vertical quality of historic waterfront buildings.
- Roof slopes shall be 6/12 to 8/12 pitch.



Roof Forms and Allowable Pitch

The Boardwalk Amusement Arcade shall incorporate the following massing standards:

- The Ferris wheel is to be a major visual element ranging in height from 6 to 8 stories.
- Arcade pavilions shall be permanent structures for seasonal use, one story in height with roof slopes at 6/12 to 8/12 pitch.
- Footprints of structures shall vary in size based on use.

Scale and massing of the South 8<sup>th</sup> Street Office/Retail Structures shall meet the City of Sheboygan Zoning Ordinance.

### Building Edge Condition:

The following characteristics are encouraged in the design of structures in “The Shanties” character zone:

Shanty Structures:

- Undulation of the building plan outline and/or the wall section outline through expression of structural elements (piers, spandrels, etc.).
- Wood clapboard surfaces with punched window openings.
- 4” to 6” painted wood window and corner trim.

Bridge Plaza Mixed-Use Structures, Cruise Ship Terminal Plaza Buildings, and Boardwalk Amusement Arcade:

- Undulation of the building plan outline and/or the wall section outline through expression of structural elements.
- Punched window openings.
- Decorative wood, masonry, or tile detailing.
- Full-height aluminum storefront glazing is unacceptable.
- Encourage creative response to exterior spaces.

South 8<sup>th</sup> Street Office/Retail Structures:

- Undulation of the building plan outline and/or the wall section outline through expression of structural elements.

### Storefront/Ground-Floor Treatment:

The following treatments are desirable means of reinforcing the ambience of “The Shanties” character zone at the storefront and ground-floor level:

Shanty Structures:

- Punched window openings for display and entry experiences at retail shops and cafés are encouraged.

- Full-height aluminum storefront glazing is unacceptable.

Bridge Plaza Mixed-Use Structures, Cruise Ship Terminal Plaza Buildings, and Boardwalk Amusement Arcade:

- Punched window openings for display and entry experiences at retail shops and cafés are encouraged.
- Limited window bands within structural bays are allowed, with multiple window modules expressed within bands.
- Full-height aluminum storefront glazing is unacceptable.

South 8<sup>th</sup> Street Office/Retail Structures:

- Commercial storefront glazing system may be utilized with a finish and colors complementary to the historic Reiss Office Building.

### Building Materials:

The following materials are recommended for use within the “The Shanties” character zone:

Roofing:

- Wood shingles.
- Terne metal standing seam roofing to create the feeling of historic tin roofing.
- Dimensional asphalt shingle treatments which visually replicate wood shingles.
- Bridge Plaza Mixed-Use Structures, Cruise Ship Terminal Plaza Buildings, and South 8<sup>th</sup> Street Office/Retail Structures may utilize pre-finished standing seam metal roofing.
- South 8<sup>th</sup> Street Office/Retail Structure may be designed as a flat roof structure.

Siding:

- Wood clapboard siding of natural weathering cedar or stained pine with a 4” to 6” weather face (height of siding board exposed to view).
- Composite siding, metal siding, and masonry are unacceptable for shanty structures.
- “Cream City” masonry may be allowed on the Bridge Plaza Mixed-Use Structures and the Cruise Ship Terminal Plaza Buildings.

Windows:

- Operable, painted wood windows (double-hung) are recommended for shanty structures.
- Bridge Plaza Mixed-Use Structures, Cruise Ship Terminal Plaza Buildings, and Boardwalk

Amusement Arcade Pavilions shall utilize operable, vinyl-coated wood windows or fixed sash with historic mullion patterns.

- South 8<sup>th</sup> Street Office/Retail Structures may utilize commercial aluminum or hollow metal glazing systems with finish and colors to complement the historic Reiss Office Building.
- Glazing shall be clear. Mirrored, colored or tinted glazing is unacceptable.
- Banded windows and two-story glazed openings are unacceptable.

#### Doors:

- Painted wood panel doors are desirable on the shanty structures.
- Other structures shall use pre-finished or painted wood panel doors.

### Building Signage:

- Encourage creative sign concepts such as “icon” silhouette blade signs (e.g. coffee pot for café), hand-painted or stenciled logos on window glass, or pedestrian-scale signposts at entry walk.
- Signage areas at Shanty Structures shall not exceed six square feet each on roadway and river elevations of structure.
- Signage areas at Bridge Plaza Mixed-Use Structures and Cruise Ship Terminal Plaza Buildings shall not exceed eight square feet on roadway and river elevations of structure, and twelve square feet on plaza elevation; total building signage shall not exceed twenty-four square feet.
- Signage areas at South 8<sup>th</sup> Street Structures shall conform with the City of Sheboygan Signage Ordinance.

## Site Development and Improvements

### Lighting:

- Provide Lumec Candela CAND2-RR fixtures at drive entrances and drop-off zones. Provide Gardco Lighting CA22 for vehicular lighting in parking areas.
- Provide metal halide lamps for white light.
- Specify site and on-structure light fixtures which reduce light pollution, direct light

towards the ground-level use areas, and maintain the nautical character of “The Shanties.” This fixture, including replacement parts, shall be readily available and produced by a reputable manufacturer.

### Surface Parking Areas:

- Screen parking lots as appropriate without compromising the safety of pedestrians and motorists.
- Landscaping shall exceed standards set by City of Sheboygan Paved Area Landscaping Requirements.
- Provide crosswalks and sidewalks in parking areas for pedestrian safety.

### Service Areas:

- Service areas include, but are not limited to, dumpster enclosures, loading docks, etc.
- Integrate service areas with architecture of building and/or screen with plant material or architecturally compatible structures.
- Relate the architectural form of structural screens to the design standards for “The Shanties” (See illustration below).

### Landscape Standards:

- Develop property adjoining public open spaces and right of way areas to support and contribute to the overall quality of the landscaping design aesthetic.
- Landscaping shall comply with Sheboygan Zoning Ordinance Subchapter 15-6: Landscaping and Bufferyard Regulations. Development sites shall be reviewed on a case-by-case basis.



*Appropriately Screened Service Area*

- To encourage a rich planting palette for areas close to entrances, consideration will be given for the use of perennials and ornamental grasses combined with masonry walls in planting beds as alternatives to shrubs for meeting the typically required landscaping points. Perennials and grasses 24 or more inches in height which maintain their form through the winter months shall be worth 3 landscape points per plant, while plants less than 24 inches in height shall be worth 1 point each.
- Provide plant material that is hardy to Sheboygan's climate, tolerant of de-icing compounds, and complies with American Nursery Standards.
- Select species from the following tree palette for entry drives and parking areas:

Canopy Trees

- Acer x freemanii 'Autumn Blaze'
- Fraxinus americana  
'Autumn Purple'
- Fraxinus pennsylvanica  
'Marshall's Seedless'
- Tilia x 'Redmond'
- Tilia cordata 'Greenspire'

Ornamental Trees

- Malus 'Adirondack'
- Malus baccata 'Jackii'
- Malus 'Ormiston Roy'
- Malus 'Prairifire'
- Pyrus calleryana 'Redspire'

- The use of masonry walls and other types of fencing is highly encouraged for the visual screening of parking lots.
- Developers of lots along the Sheboygan River may desire connections though the public realm to the riverwalk. These connections may consist of hardscape, landscape, or small structural improvements (ie: arbors or fences). Proposals for improvements within this zone shall require a permit, and shall be subject to City review and approval.

## Public Realm Enhancements

### Lighting:

- Provide Lumec Candela CAND1-RR fixtures along the riverwalk, with CANDB1 bollard lights in plaza areas as appropriate. Provide Lumec Candela CAND2-RR fixtures along public streets.

- Provide metal halide lamps for white light.
- Design light fixtures to reduce light pollution, direct light towards the ground-level use areas, and maintain the nautical character of "The Shanties."

### Signage:

- Placement of signs shall promote wayfinding within and between the South Pier District's zones, as well as to broader destinations as appropriate.
- Signage for vehicular and pedestrian use shall be of similar materials, color scheme, and graphic design theme.
- Signage shall build on guidelines established for development north of the river.

### Landscape Standards:

- Provide straight rows of a single tree species on each street planted at 35 feet on center along both sides of streets; introduction of an additional species at intersections is encouraged.
- Plant medians of surface parking lots with canopy trees spaced at 35 feet on center.
- Provide plant material that is locally grown, hardy to Sheboygan's climate, and tolerant of de-icing compounds.
- Select species from the following tree palette for street right-of-ways and parking areas:

Canopy Trees

- Acer x freemanii 'Autumn Blaze'
- Fraxinus americana  
'Autumn Purple'
- Fraxinus pennsylvanica  
'Marshall's Seedless'
- Tilia x 'Redmond'
- Tilia cordata 'Greenspire'

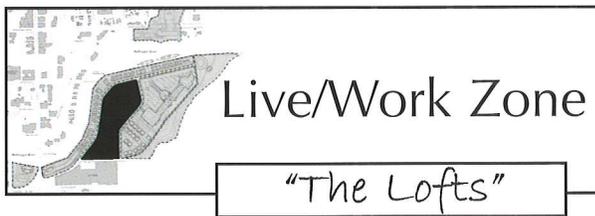
Ornamental Trees

- Malus 'Adirondack'
- Malus baccata 'Jackii'
- Malus 'Ormiston Roy'
- Malus 'Prairifire'
- Pyrus calleryana 'Redspire'

- Street trees shall have a minimum caliper of 2 1/2".
- A rich planting palette is strongly encouraged for areas close to entrances. Public gathering places, plazas, nodes, and view corridors shall receive special treatment in terms of plant species and density.



*"Cream City" Brick Architecture*



"The Lofts" is envisioned as an eclectic residential community playing to the youthful spirit in all of us. This neighborhood provides a place where residents can find their own space in alternative live/work lofts and apartment living, centered on beach and water activities. This character zone encourages the mixing of neighborhood uses in 1.5 to 3-story structures of "Cream City" brick to capture the energy of Sheboygan's historic urban waterfront district. Buildings along the street facing the river extend the retail shopping of "The Shanties," but the primary use of this zone will be residential with associated recreational opportunities and convenience shopping available for residents.

## Development Pattern

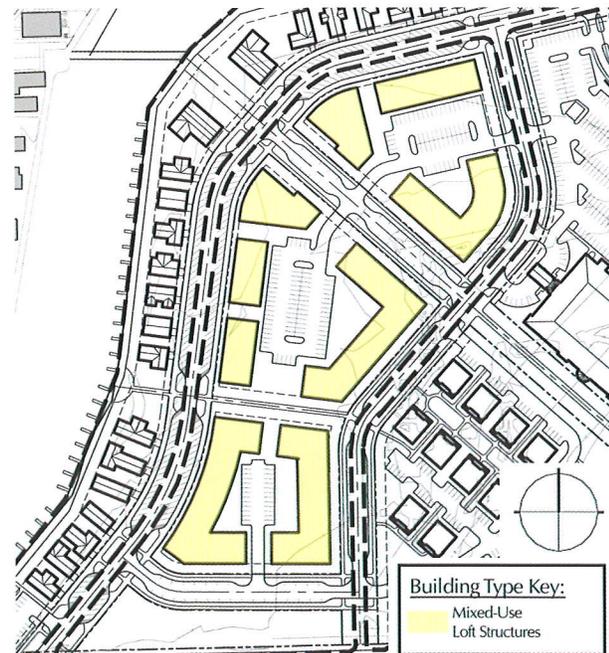
### Neighborhood Use Types:

#### Mixed-Use Loft Structures:

- Lofts provide live/work opportunities with flexible occupancy for living units, office/studio spaces, and neighborhood retail. Retail shops shall be located only on the ground-floor and may offer convenience goods and services including: dry cleaners, coffee, newsstand/books, general store, etc.
- Envisioned as 2 to 2.5-story structures in varying footprints.
- Loft units shall be approximately 1,200 square feet along a double-loaded corridor.

### Lot / Block Standards:

Lot size and layout shall be such that circulation is facilitated. Circulation in this neighborhood shall emphasize the sense of community, promote continuity, and provide ease of choices. A pedestrian easement shall be provided through the larger block to facilitate access between the adjacent "Shanties" and "Dunes" character zones.



*Building Type for "The Lofts" Character Zone*

## Architectural Character

### Scale and Massing:

The Mixed-Use Loft Structures shall incorporate the following massing standards:

- 2 to 2.5-story structures not to exceed 28 feet in height.
- Dormers and roof overhangs shall be used to reduce visual scale of structures.
- Height to width proportions shall be 1.2:1 or greater to express the traditional vertical quality of historic waterfront buildings.
- Where roofs are sloped, roof pitch shall be 6/12 to 12/12.

### Building Edge Condition:

In “The Lofts” character zone, undulation in the building plan outline and/ or the wall section outline through expression of structural elements (piers, spandrels, etc.) is encouraged.

### Storefront/Ground-Floor Treatment:

Desirable treatment for storefronts and ground-floor areas of the Mixed-Use Loft Structures in this character zone are as follows:

- Punched window openings for display/entry experiences at shops and cafes.
- Full-height aluminum storefront glazing is unacceptable.



*Mixed-Use Loft Structures, Madison, Wisconsin*



*Proposed Mixed-Use Development, White Bear Lake, Minnesota*

### Building Materials:

The following materials are recommended for use within “The Lofts” character zone:

#### Roofing:

- Wood shingles.
- Metal standing seam roofing to emulate the feeling of historic tin roofing.
- Dimensional asphalt shingle treatments which replicate wood shingles.

#### Siding:

- Wood clapboard siding of natural weathering cedar or stained pine.
- Siding should have 4”-6” weather face (height of siding board exposed to view).
- “Cream City” masonry with sufficient window/ door surround detailing recalling the historic roots of the City of Sheboygan is also appropriate.
- Composite siding and metal siding are not allowed.

#### Windows:

- Operable vinyl-coated wood windows (double-hung) with mullion patterns reflecting historic patterns.
- Fixed sash may be used with an historic mullion pattern.
- Glazing shall be clear. Mirrored, colored or tinted glazing is unacceptable.

#### Doors:

- Pre-finished wood panel doors are desirable.

## Building Signage:

- Encourage creative sign applications such as “icon” silhouette blade signs (ex. Coffee pot for café), hand-painted or stenciled logos on window glass, or pedestrian-scale signposts at entry walk.
- Signage areas on Mixed-Use Loft Structures shall not exceed six square feet per ground-floor retail unit.
- Second floor signage shall not exceed six square feet per unit.

## Site Development and Improvements

Enhancement recommendations for this district are the same as “The Shanties” character zone (see page 3).

## Public Realm Enhancements

Enhancement recommendations for this district are the same as “The Shanties” character zone (see page 3).



Waterfront Resort Character



## Family Resort Zone

"The Dunes"

"The Dunes" is envisioned as an area with family-centered destination attractions along the Lake Michigan shoreline. Evoking images of early 20th century waterfront resort lodges, this family-centered resort will provide year-round family vacation attractions with a hotel, an indoor waterpark, and stunning views of the lake, and also meets the needs of the community by providing a business conference and banquet center. Detached units are also included for extended stays. Public access of the waterfront is maintained with pedestrian corridors through this zone to the lakeshore at multiple locations.

## Development Pattern

### Neighborhood Use Mix:

#### Family Resort:

- Envisioned as a vacation destination targeted at families with children.
- Intended to include a business conference and banquet center, as well as an indoor aquatic center.
- 160 to 200-room hotel.
- Surface parking lots.
- Indoor children's activity attractions, restaurant, lounge and hotel-related retail.

#### Lakefront Detached Units:

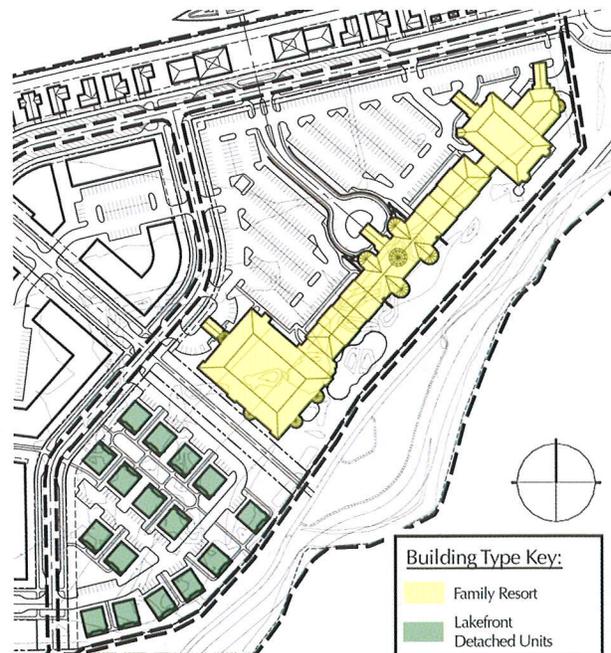
- Intended to provide extended-stay rental or lodging opportunities along the lake.
- Planned to include 16 structures, each 2.5-stories (4 dwelling units per structure).
- Designed with multiple public pedestrian connections to the beach, as well as visual ties to the water between the smaller-scale buildings.

### Lot / Block Standards:

Lot layout and size should accommodate the desired pattern of development and promote good circulation and access within the zone and the whole of the South Pier District. Circulation and access should formalize the relationship between the Family Resort and the Cruise Ship Terminal located in "The Shanties" zone. This is critical to enhance the approach and arrival experience, to develop logical wayfinding, and to maximize the opportunities to interact from a market and land use perspective.

Good pedestrian access to the lakefront and the river are key to the South Pier District's success. Multiple access corridors need to be incorporated in future planning and design projects. These corridors are identified as the following:

- North of the Family Resort, provide pedestrian access to the beach and pedestrian and fishing access to the breakwater.



Building Type for "The Dunes" Character Zone

- Align pedestrian access to the riverwalk through the future Cruise Ship Terminal Plaza.
- Reinforce both visual and physical connections between the river and the lakefront by providing access to the beach through a 60'-wide corridor mid-peninsula.
- Provide one pedestrian access connection to the lake through the detached units where common landscaped areas are developed.
- Provide public access to the beach from Illinois Avenue between the residential development and the adjacent manufacturing facility.

## Architectural Character

The aesthetic of "The Dunes" mixes the architectural styles of the Riverfront and Live/Work Zones. This area also provides an opportunity to capture the essence of historic waterfront destination resorts. Americans have traveled to waterfront resorts in search of renewed health, spiritual enlightenment, aesthetic uplift, and merely in search of a change of pace. The opportunity to create a Family Resort as a major destination on downtown Sheboygan's lakefront carries with it the responsibility of creating a piece of landmark architecture worthy of such a premier site.

### Scale and Massing:

Recommended massing for the Family Resort shall be as follows:

- Main body of hotel may be up to four stories or 50 feet in height, with top-level rooms in roof dormers.

- Central entrance element shall be a gable or cupola form, with a maximum height of 68 feet.
- Structures containing the indoor aquatic center and the business conference and banquet center shall be no greater than three stories (40 feet) in height. Aquatic center elements shall not penetrate the outer walls of the containing structure. Structure height may be reduced by grading up against the building and incorporating the building into the sand dunes along the beach frontage.
- Use entry canopies, porches, secondary roofs, and undulating of wall planes to reduce the apparent mass of the waterpark and conference center.
- Roof slopes shall be six to eight inches per foot (6/12 to 8/12).

Recommended scale and massing for the Lakefront Detached Units shall be as follows:

- The multi-family structures should take on the scale and character of large single family dwellings, and shall be no taller than 2.5 stories.
- Roof slopes shall be six to eight inches per foot (6/12 to 8/12).
- Entry canopies, porches, secondary roofs, and dormers shall be used to create a residential character that is appropriately scaled to the waterfront site.
- The siting and alignment of the individual structures as well as the relationship to the adjacent street block development should replicate the pattern typical of the traditional



*Varied Heights, Rooflines, Porches, and Dormers Create a Waterfront Resort of Varied Scale and Visual Interest*

character found in the older residential neighborhoods of Sheboygan.

### Building Edge Condition:

Desirable building edge undulation for the Resort Hotel shall include the following:

- Expression of structural elements.
- Punched window openings.
- Decorative wood, masonry, or tile detailing.
- Creative response to exterior spaces.
- Banded windows and two-story glazed openings are unacceptable.
- Emphasis on window openings for display and entry experiences at retail shops and cafés are encouraged.

Desirable building edge treatment for the Lakefront Detached Units shall include the following:

- Express entries by incorporating roof overhangs and architectural features which clearly articulate the front versus the sides of the structures.
- Provide decorative wood and masonry treatments.
- Use double-hung and casement windows typical of single family residential architecture.
- Create variety in the building edge through the use of roofed front porches and side door entry canopies.

### Storefront/Ground-Floor Treatment:

Desirable treatment for ground-floor areas of structures in this character zone are as follows:

- Punched window openings for display/entry experiences.
- Full-height aluminum storefront glazing is unacceptable.

### Building Materials:

The following materials are recommended for use within "The Dunes" character zone:

Roofing:

- Wood shingles.
- Metal standing seam roofing to emulate historic tin roofing.
- Dimensional asphalt shingle treatments designed to replicate wood shingles.
- Resort Hotel may utilize prefinished standing seam metal roofing.

Siding:

- Clapboard siding or wood shingle siding with a 4" to 6" weatherface.

Windows:

- Operable, vinyl-coated wood windows (double-hung) are recommended.
- Fixed sash may be used with an historic mullion pattern.
- Glazing shall be clear. Mirrored, colored or tinted glazing is unacceptable.

Doors:

- Pre-finished or painted wood panel doors.

### Building Signage:

- Signage areas at the Family Resort shall not exceed twenty-four square feet on front entrance elevation of structure. Total building signage shall not exceed forty square feet.

## Site Development and Improvements

Enhancement recommendations for this district are the same as "The Shanties" character zone (see page 3), with the following addition to the landscaping recommendations:

### Landscape Standards:

- For areas adjacent to the Lakefront character zone, it will be essential to design the plantings in a manner sympathetic to the beach and dune restoration, and to manage access across the dunes in a manner that protects this fragile ecosystem. Select species from the beach plant palette provided on page 14.

## Public Realm Enhancements

Enhancement recommendations for this district are the same as "The Shanties" character zone (see page 3).



The Lakeshore Eco-Park



Imagine strolling along Lake Michigan, listening to the gulls while watching a windsurfer ride the waves. An angler pulls her catch from the river, while a group of school children eagerly await the rocket launch from the end of the pier. These activities and more will take place in “The Beach” character zone. This zone will reserve the lakefront as public open space. Restoration of the sand dunes creates the Lakeshore Eco-Park, with facilities for beach use, fish cleaning, and a “Mission Control” for Sheboygan’s “Rockets for Schools” program.

## Public Realm Enhancements

### Public Structures:

An environmentally-sensitive facility at the South Pier will house a beachfront comfort station, fish cleaning facility, community center, and the Mission Control for the “Rockets for Schools” program.

### Lighting:

- Continue to reinforce the maritime character of the South Pier District.
- Provide Lumec Candela CAND1-RR fixtures and CANDB1 bollard lights.
- Provide metal halide lamps for white light.

### Surface Parking Areas:

- Screen parking lots as appropriate without compromising the safety of pedestrians and motorists.
- Provide crosswalks and sidewalks in parking areas for pedestrian safety.

### Public Realm Signage:

- Placement of signs shall promote wayfinding within and between South Pier zones, as well as to broader destinations as appropriate.
- Signage for vehicular and pedestrian use shall be of similar materials, color scheme, and graphic design.
- Complement graphics north of the river.

### Landscape Standards:

- Managed access across the sand dune restoration area is necessary to protect this dynamic and fragile ecosystem.
- Lake frontage shall receive plantings that are spaced in a parklike, naturalistic manner.
- Recommended species palette for plantings:

#### Trees

Betula platyphylla japonica  
 Betula nigra  
 Juniperus virginiana  
 Pinus strobus  
 Populus tremuloides

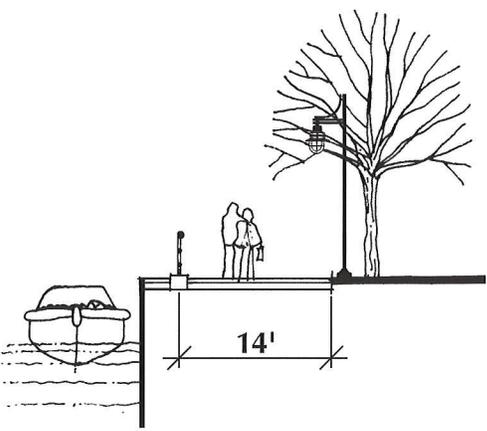
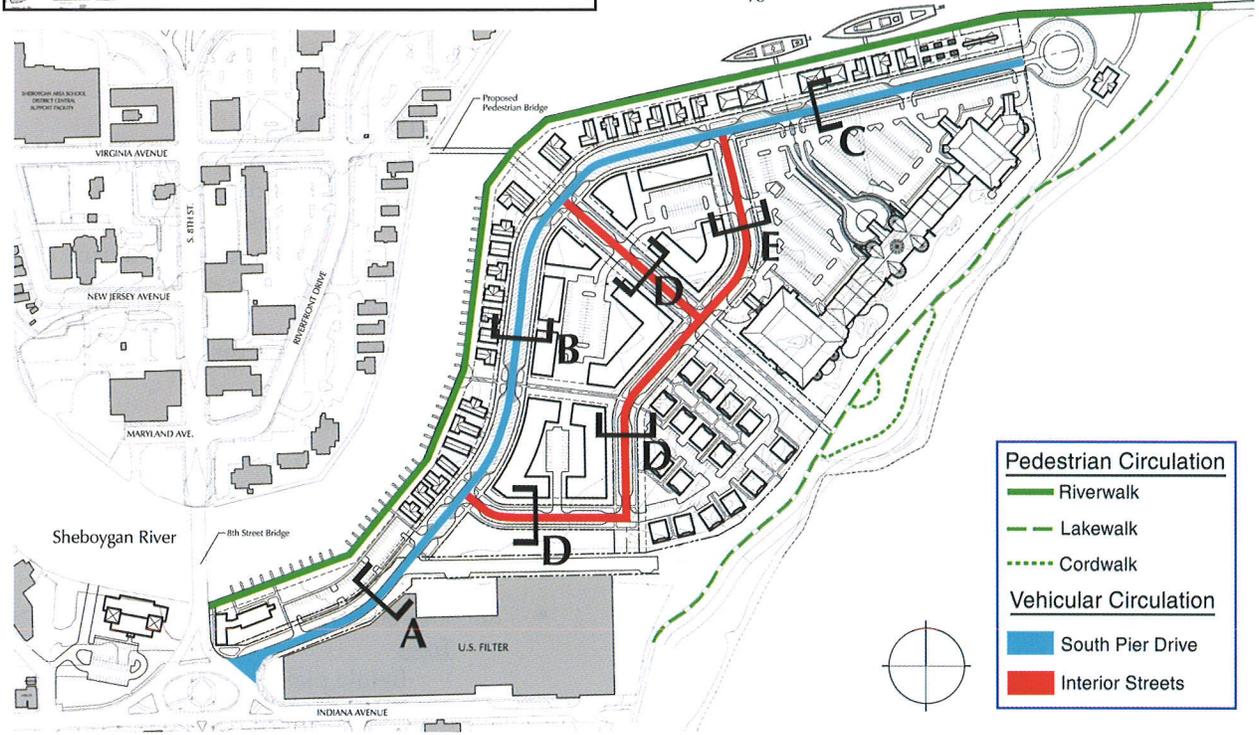
#### Shrubs

Cornus sericea  
 Juniperus communis  
 Potentilla fruticosa  
 Rhus aromatica ‘Gro-Low’

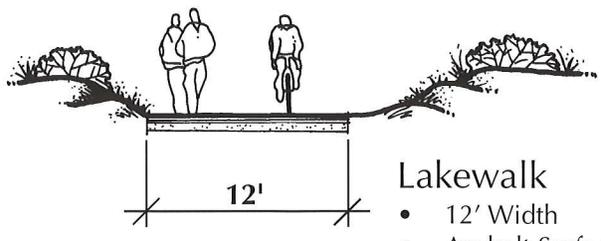
#### Perennials / Groundcovers

Ammophila breviligulata  
 Arctostaphylos uva-ursi  
 Artemisia ludoviciana  
 Coreopsis lanceolata  
 Elymus canadensis  
 Iris sibirica  
 Iberis sempervirens  
 Lavendula angustifolia ‘Munstead’  
 Oenothera tetragona

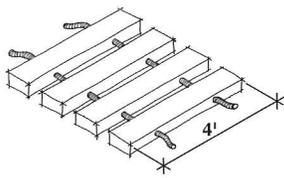
# Pedestrian and Vehicular Circulation



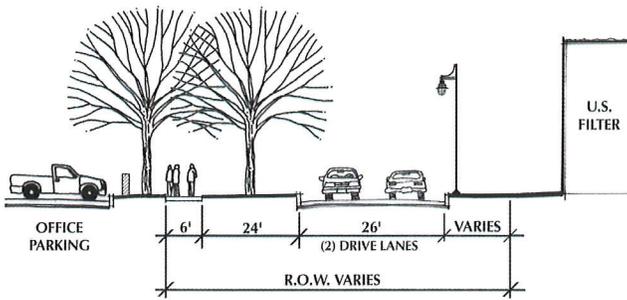
- Riverwalk**
- 14' Width
  - Concrete Surface
  - Match Pipe Railing on North Side of River



- Lakewalk**
- 12' Width
  - Asphalt Surface

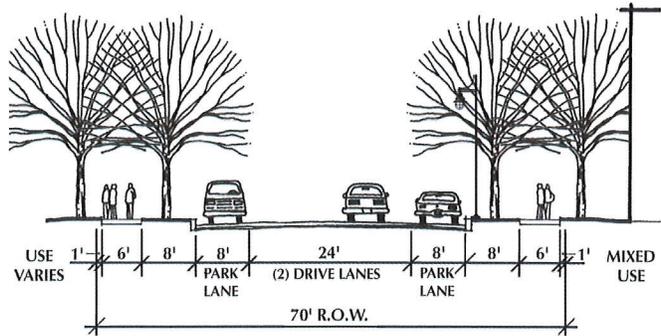


- Cordwalk**
- 4' Width
  - Dune Access



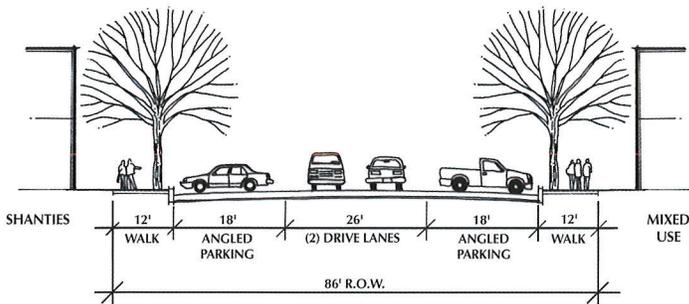
### South Pier Drive - Section A

- Two-directional traffic, 13' drive lanes.
- Entry area shall be richly enhanced by landscaping to convey a sense of arrival.
- Site wall or hedge to be incorporated as a screening device adjacent to parking lots.



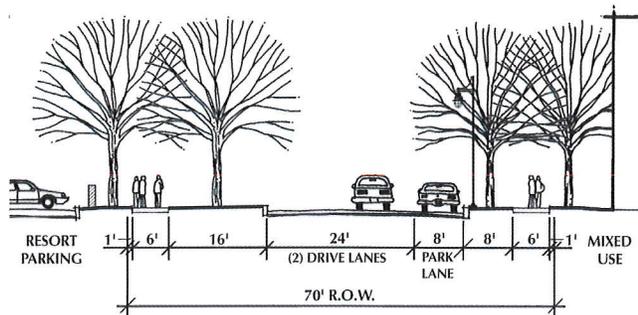
### Interior Street - Section D

- Two-directional traffic, 12' drive lanes.
- Parallel parking on both sides of street.



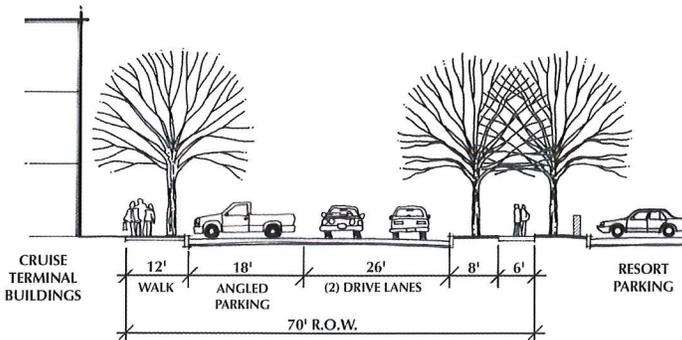
### South Pier Drive - Section B

- Two-directional traffic, 13' drive lanes.
- Angled parking on both sides of street.



### Interior Street - Section E

- Two-directional traffic, 12' drive lanes.
- Parallel parking on side of street adjacent to "The Lofts" character zone.
- Site wall or hedge to be incorporated as a screening device adjacent to parking lots.



### South Pier Drive - Section C

- Two-directional traffic, 13' drive lanes.
- 12' Sidewalk along Cruise Ship Terminal Plaza Buildings.
- Site wall or hedge to be incorporated as a screening device adjacent to parking lots.



Protecting the water resources of the Sheboygan River and Lake Michigan is a high priority as the the South Pier District is developed. As impermeable surfaces such as roads, parking lots, and roofs are constructed on the site, the quality of storm water requiring management will be greatly affected. Consequently, storm water management practices will need to be designed and implemented to minimize the transport of pollutants and sediments through the storm water system to the surrounding waters. The following Best Management Practices (BMP's) can help improve the quality of storm water runoff by reducing the transport of pollutants:

### Soil Erosion and Sedimentation Control:

- Prevent the migration of soil from the project site by scheduling construction grading activities during seasons during which vegetation will quickly reestablish itself.
- Typical practices include appropriate construction phasing and the use of silt fence, straw bales, settling basins, anti-tracking mats, erosion matting, deep tilling, and vegetation.

### Conveyance Systems:

- Encourage the use of vegetated swales with shallow slopes to decrease flow rates and to increase discharge water quality.
- Use riprap channels only where the velocity of the runoff is unusually high due to steep slopes. Install riprap in conjunction with a geotextile fabric to prevent storm water from eroding the bottom and sides of various open conveyance systems.

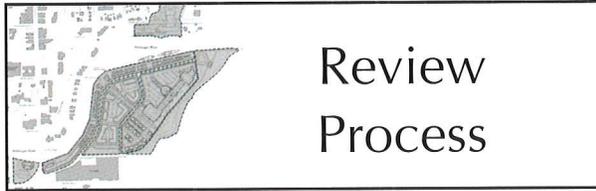
### Oil and Grease Separators:

- Promote the use of oil and grease separators to remove oil, grease, sediments, trash, and other debris from storm water.
- Oil and grease separators use specific gravities to separate oil and water in three-chambered, underground devices.
- Benefits include a minimal requirement of

land area, compatibility with most storm drain systems, and ease of use for retrofit applications.

### Landscaping Practices:

- Encourage the use of native plant species in vegetated areas to collect and slow runoff and to filter out sediments and soluble particles. Native plants are well suited to local climates, and add beauty as well as habitat for wildlife.



The success of the South Pier Design Guidelines can only be measured by their degree of use as a working tool for the City of Sheboygan. It is imperative that the developers and designers who will ultimately transform this site work closely with City staff to fulfill the intention of these guidelines. Creative responses within the parameters of these guidelines are highly encouraged during the design process; flexibility will be provided for ideas that build upon the goal to create a unique environment for the South Pier District.

Implementation of the South Pier Redevelopment Plan will follow the City of Sheboygan's policies and procedures for Planned Unit Developments. City staff will coordinate with developers through the planning process. The process includes three steps briefly described below.

### Concept Plan:

- A general layout showing land use and locations for public streets and private drives.
- A written description of plan elements, approximate residential densities and other land use intensities, requested exemptions from zoning standards, and development elements that exceed standards.

### General Development Plan (GDP):

- A context plan depicting adjacent land ownership, lot dimensions, and current zoning at a scale no less than 1" = 800'.
- A layout plan showing locations of public streets, private drives, open space areas, lot sizes, densities/intensities, impervious surface area ratios, conceptual landscaping, general signage, and expected project phasing (minimum scale of 1" = 100').
- A written description as summarized under Concept Plan.

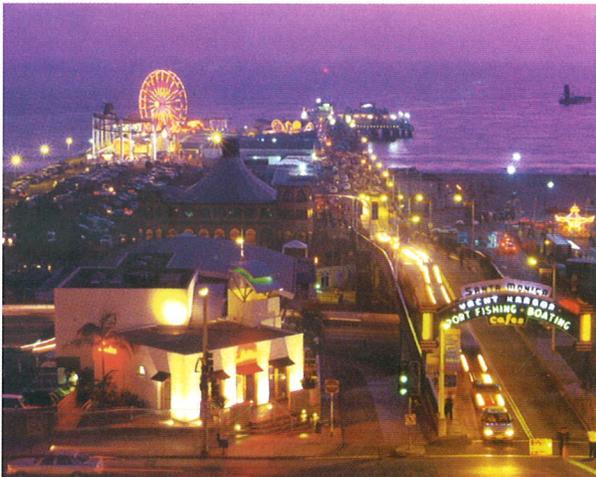
### Precise Implementation Plan (PIP):

- In addition to elements included in the GDP, a PIP site plan shall include: a legal description of the property; dimensioned lot lines, building heights, setbacks, and easements; proposed structures, parking, and amenities; service areas and screening; signage; exterior lighting; a detailed landscape plan; a site grading and erosion plan; and elevation drawings of proposed structures annotated with types of finishes (minimum scale for plans of 1" = 100'; minimum scale for elevations of 1/8" = 1'-0").
- A written description of land use; projected residents, workers, and daily visitors; size of dwelling units; densities/intensities; impervious surface area ratios; operational considerations in relation to public infrastructure; exterior building materials; and proof of developer financing.

### Contact Information:

Additional information regarding development of the South Pier District can be obtained from:

Department of City Planning and Development  
City of Sheboygan  
807 Center Avenue  
Sheboygan, WI 53081  
(920) 459-3377



*Imagine South Pier as a Vibrant Waterfront Destination.*

*Prepared For:*

Department of City Planning and Development  
City of Sheboygan  
807 Center Avenue  
Sheboygan, WI 53081  
(920) 459-3377

*Prepared By:*

**SmithGroup JJR**

625 Williamson Street  
Madison, WI 53703  
(608) 251-1177  
[www.smithgroupjjr.com](http://www.smithgroupjjr.com)